

DUNFERMLINE BUSINESS PARK



TRAVEL TIMES

DESTINATION	ROAD	DISTANCE
Edinburgh	28 mins	15 miles
Glasgow	54 mins	47 miles
Stirling	40 mins	25 miles
Dundee	61 mins	49 miles
Aberdeen	2 hrs 32 mins	85 miles

Please note that all times and distances are approximate.

LEGAL COSTS

Each party will be responsible for their own legal costs incurred in any transaction. The in-going tenant will be liable for stamp duty land tax, VAT and registration dues.

VAT

All prices and figures are quoted exclusive of VAT.

LEASE TERMS

Units are available on new full repairing and insuring terms. For further information on current availability and quoting rent, please contact the sole agents.

For design & build packages the rent applicable to any unit constructed will be dependent on the specification required by the incoming Tenant.

VIEWING AND FURTHER INFORMATION

To arrange a viewing or for further information please contact:



0131 315 0029

Niall Burns
D/L: 0131 315 0029
E-mail: niall@burnsandshaw.co.uk

Adam Shaw
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E-mail: adam@burnsandshaw.co.uk

Important: These particulars do not form part of any contract. The letting agents, nor any of their partners, directors, employees or agents are authorised to give or make any warranty or representation on behalf of any party. Whilst information and particulars are given in good faith, intended purchasers or tenants must satisfy themselves independently as to the accuracy of all matters on which they intend to rely. All negotiations are subject to contract.

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TO LET

INDUSTRIAL WAREHOUSING & WORKSHOPS PLUS DESIGN & BUILD OPPORTUNITIES FROM 140 SQ.M (1,500 SQ.FT) UPWARDS



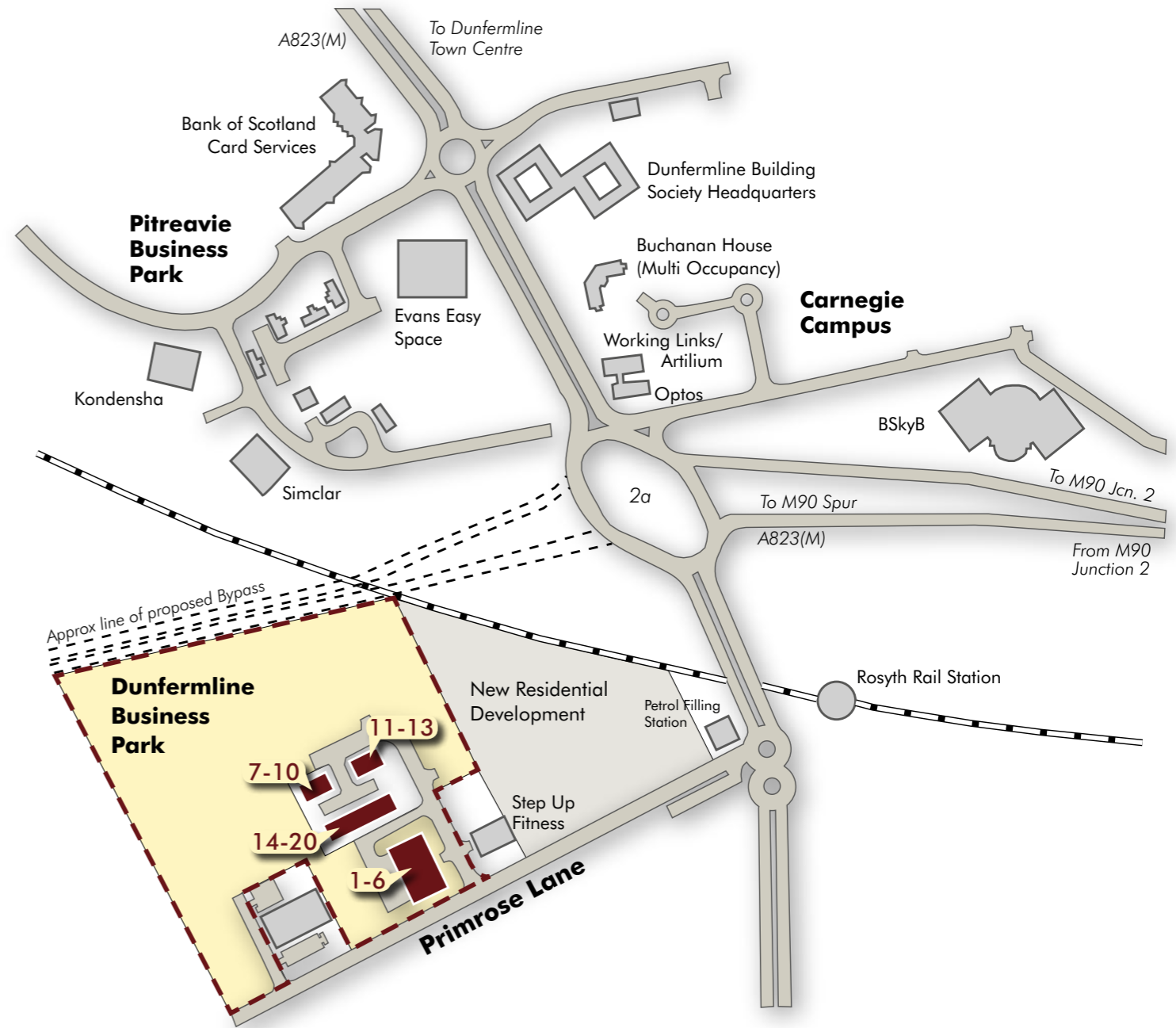
DUNFERMLINE BUSINESS PARK
PRIMROSE LANE
KY11 2RN



www.jsmart.co.uk



NEIGHBOUR OCCUPIERS



LOCATION

Dunfermline, with a resident population of approximately 45,000 is situated immediately to the west of the M90. It is located approximately 13 miles to the north of Edinburgh Airport, and 20 miles north of Edinburgh City Centre.

Located on Primrose Lane, Dunfermline Business Park is approximately 3 miles to the south of Dunfermline town centre and in close proximity to the A823 dual carriageway and Junction 2A of the M90.

DESCRIPTION

The Business Park provides industrial warehousing/workshops from 140 sq.m (1,500 sq.ft). The individual units benefit from a specification including:-

- Eaves from 3.75m - 4.17m
- Gas fired heaters
- Steel Portal Frame
- Loading Doors
- Communal Yard
- WC facilities

In addition to the existing units, our client has land available to undertake design & build packages to the ingoing Tenants specification.

Current availability schedule available on request from the sole letting agents.