

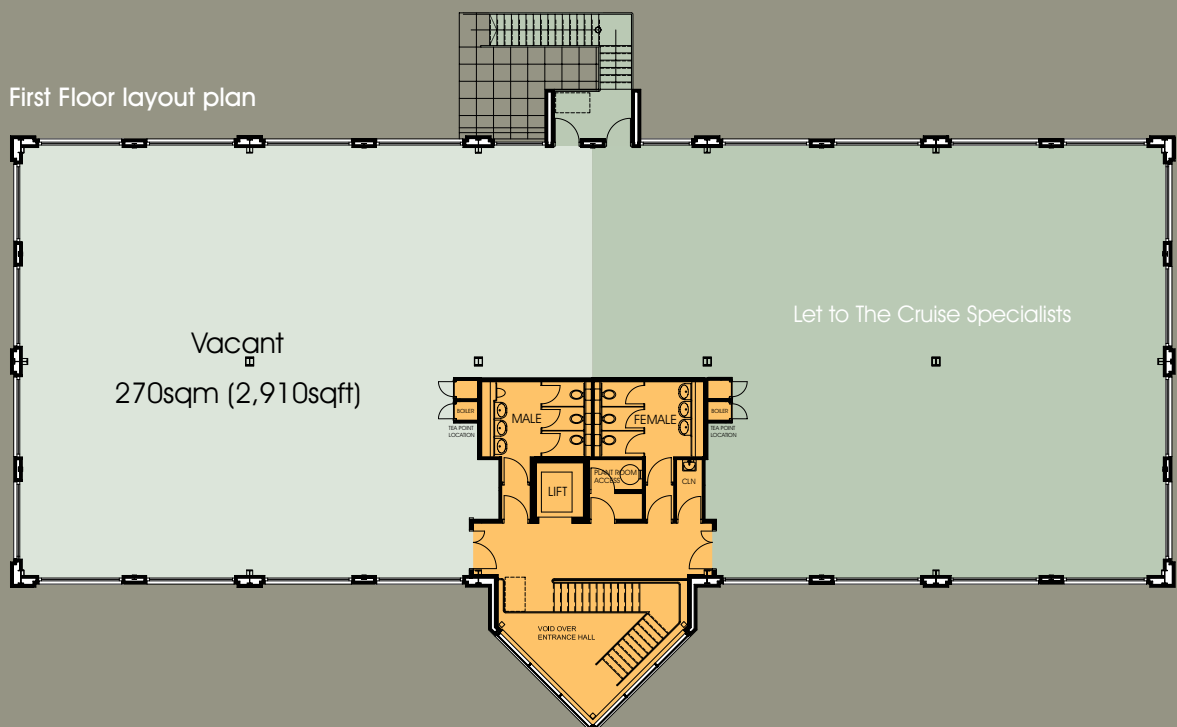
Last remaining suite  
following lettings  
to GB Oils and Cruise Specialists

# Sheilling House

Glenbervie Business Park, Larbert, Falkirk  
Satellite navigation: FK5 4RB



**TO LET**  
High quality office accommodation  
270 sqm (2,910 sqft)  
19 car parking spaces



## Location

Glenberrie Business Park is situated on the northern outskirts of Falkirk and enjoys excellent road communication links from the Central Scotland motorway network. Junction 2 of the M876 motorway is situated to the west of the Park. The M876 motorway connects the M9 motorway to Edinburgh (30 miles) and the M80/A80 to Glasgow (23 miles). The M9 also heads north to Stirling (10 miles), Perth, Inverness and Aberdeen whilst to the south the M80/A80 connects with the M73/M74 to Carlisle and beyond.

Glenberrie Business Park is a 35 acre project being promoted by Scottish Enterprise and is situated in close proximity to Central Park Business Park which hosts occupiers such as Mathiesons Bakers, Redrow Homes and Telecom Service Centre. Glenberrie Business Park also benefits from a Premier Lodge offering a 60 bed hotel together with ancillary public house. Crèche facilities are available at nearby Glenberrie Kindergarden. Larbert Station is located approximately 1 mile from the Park.

## The Development

The development provides two buildings of 1089sqm (11,715 sqft) with tenants including GB Oils and the Cruise Specialists. Completed in May 2009, Sheilling House is three quarters let and comprises a two storey pavilion with the remaining suite on the first floor left providing a high level of specification and 19 car spaces.

## The Specification

The specification is as follows:

- Fully accessible raised floor system
- Curtain walling with glazed entrance doors
- Double glazed windows with high performance glass
- Suspended ceiling to offices incorporating modular fluorescent light fittings with recessed low glare diffusers
- Superior hardwood finishes throughout
- Gas fired central heating system
- Provision made to allow tenant to fit a comfort cooling system
- 8 person lift
- Tiled male, female and disabled toilets
- 19 Car parking spaces

## Lease Terms

The offices are available on flexible full repairing and insuring leases. Information on quoting rents are available from the letting agents.

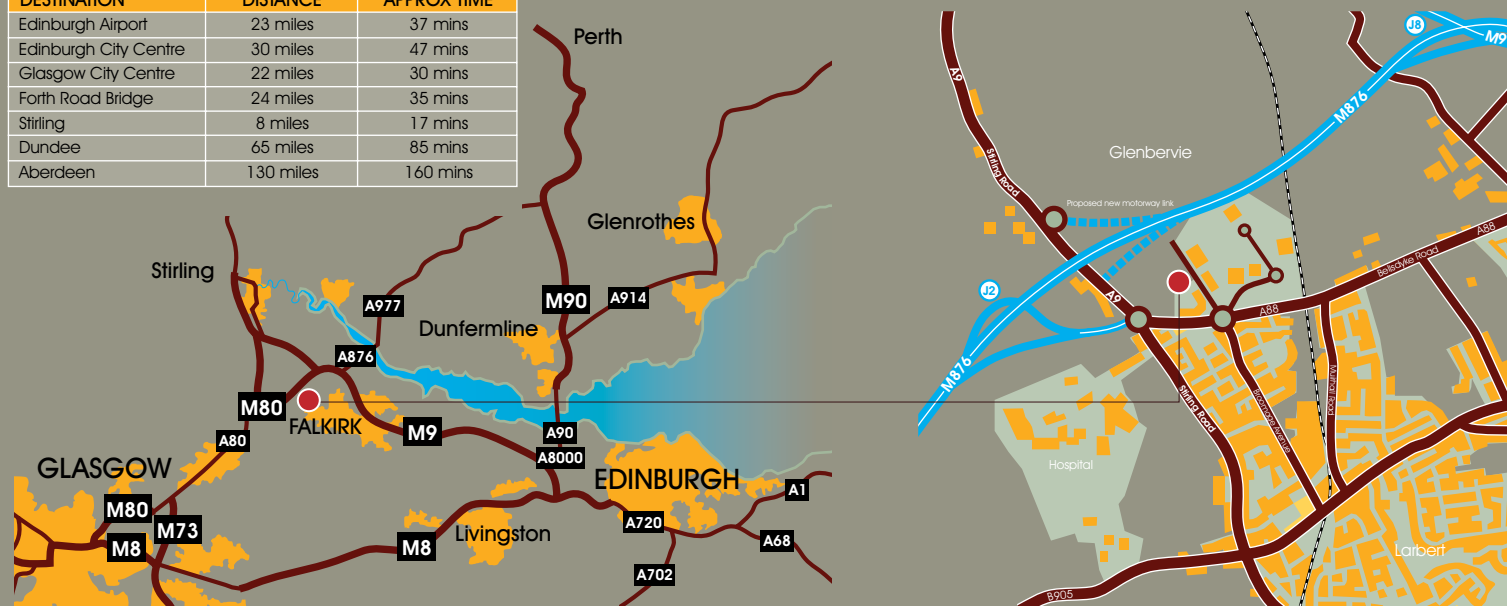
## Legal Costs

Each party will be responsible for their own legal costs incurred in the transaction. Although the ingoing tenant will be liable for stamp duty, land fees, VAT and registration dues.

## VAT

All prices and figures are quoted exclusive of VAT.

DESTINATION	DISTANCE	APPROX TIME
Edinburgh Airport	23 miles	37 mins
Edinburgh City Centre	30 miles	47 mins
Glasgow City Centre	22 miles	30 mins
Forth Road Bridge	24 miles	35 mins
Stirling	8 miles	17 mins
Dundee	65 miles	85 mins
Aberdeen	130 miles	160 mins



## Regional Selective Assistance

Glenberrie Business Park is located within an area that benefits from Regional Selective Assistance to aid inward investment.

Further information is available from Scottish Enterprise on 01786 451919 or [www.rsascotland.gov.uk](http://www.rsascotland.gov.uk)

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[www.jsmart.co.uk](http://www.jsmart.co.uk)

## Viewing and Further Information

Please contact the joint letting agents:-



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